

**CREEKWOOD PARK PAVILION**  
**111 Ida Lasseter Circle**  
**Perry GA 31069**

**BID NO 2016-26**

**CITY OF PERRY**

**CITY OF PERRY**  
**Creekwood Park Pavilion**  
**Bid #2016-26**

The City of Perry is requesting sealed bids for the construction of a 40' x 60' open air pavilion at Creekwood Park. All bidders must have a Georgia contractor's license for residential/light commercial or commercial to bid the project.

Copies of the bid documents and plans may be obtained at no cost by contacting the City of Perry Department of Administration – Purchasing, 1211 Washington Street, P O Box 2030, Perry, Georgia 31069 at 478-988-2712 or visiting [www.perry-ga.gov](http://www.perry-ga.gov). Direct any questions about the project to Steve Howard at 478-988-2719. Bids will be received until 2:00 PM local time May 10, 2016 at Perry City Hall, 1211 Washington Street, Perry, Georgia.

All bidders must have proof of liability/workers compensation insurance.

All bidders shall provide a list of local references.

No bidder may withdraw a bid within 30 days after the actual date of the opening.

Any contractor or subcontractor entering into a contract with the City of Perry must register and participate in the federal work authentication program (E-verify) to verify the employment eligibility of all employees.

The owner reserves the right to reject any or all bids, to waive, irregularities, technicalities and informalities.

**Bid No. 2016-26**  
**Creekwood Park Pavilion**

The City of Perry is requesting sealed bids for the construction of a 40' x 60' open air pavilion at Creekwood Park. The pavilion will be located just west of the swimming pool located at 111 Ida Lasseter Circle, Perry Georgia.

**Scope of Services**

The project will consist of constructing a 40' x 60' pavilion located adjacent to 111 Ida Lasseter Circle on a site to be determined by the City of Perry. Pavilion is to be constructed in accordance with the engineered drawings by Kornegay Engineering, Inc. included in the bid package.

**Special Conditions**

- 1). Incorporate 3 x 3 framing for exhaust fans in gable trusses. See not on drawing. Gable ends to be covered with Hardie Board or equal lap siding. The siding shall be painted with color choice by City.
- 2). Compaction test will be required prior to placement of concrete.
- 3). Concrete samples with cylinder breaks are required. See concrete specifications on drawings.
- 4). Provide 125AMP electrical service consisting of an eight breaker spaces; three 20AMP GFCI duplex receptacle, one 20 AMP circuit for exhaust fans and security light with a timer control for exhaust fans only, and one 30 AMP DP outlet. All wiring underground will be in schedule 40 PVC. All exposed wiring under the canopy will be armor flex cable. The panel and all other wiring is to be weather tight. All wiring shall meet the requirements of the National Electrical Code, 2014 Edition. Service will be fed from existing panel in restroom adjacent to pavilion.
- 5). Metal roof decking shall be 26 gauge with color to be determined by the City. The roof system shall be screwed down. Provide alternate bid for 24 gauge roofing.
- 6). Construction dumpster must be acquired from Advanced Disposal Systems or contractor may use his/her own dumpster provided they are for his/her private use and are not commercially available to other entities..

**Contractor Requirements**

- 1). Contractor must have current, valid workers compensation insurance coverage.
- 2). Contractor must have current, valid business license from Georgia local government.
- 3). Contractor must have current, valid general liability and vehicle insurance coverage.
- 4). Contractor must be in compliance with current Georgia immigration laws/regulations.

- 5). Contractor is responsible for the provision of all supplies, labor, equipment and permits.

### **Bidder Requirements**

Any contractor submitting a bid for this project must provide:

- 1). Three (3) commercial or institutional references.
- 2). Copy of current valid business license.
- 3). Statement of total cost to complete project.
- 4). Contractors Affidavit

### **Questions**

Questions concerning this bid should be directed to Mr. Steve Howard 478.988.2719 or 478.256.7917. Email [steve.howard@perry-ga.gov](mailto:steve.howard@perry-ga.gov)

### **Bid Due Date**

All bids must be received in the Department of Administration – Purchasing no later than 2:00 PM May 10, 2016.

### **Submission of Bid**

Bid documents must be clearly marked on outside “Creekwood Park Pavilion Bid #2016-26. No fax transmissions or emails will be accepted. Bids are to be submitted to:

Brenda King  
Department of Administration – Purchasing  
Creekwood Park Pavilion Bid #2016-26  
1211 Washington Street  
P O Box 2030  
Perry GA 31069

The City reserves to reject any bid determined not to be in the best interest of the City.

**BID FORM**

**CITY OF PERRY  
Creekwood Park Pavilion  
Bid #2016-26**

Place: City Hall  
1211 Washington Street  
Perry, GA 31069  
Date: Tuesday, May 10, 2016  
Time: 2:00 PM

Proposal of \_\_\_\_\_ (hereinafter called "Bidder")  
a corporation organized and existing under the laws of the State of \_\_\_\_\_ a partnership, or  
an individual doing business as \_\_\_\_\_.

TO: City of Perry, GA

Ladies & Gentlemen:

The Bidder, having examined the plans and specifications with related contract documents and the site of the work, and being familiar with all of the conditions surrounding the construction of the proposed project including the availability of materials and labor, hereby proposes to furnish all labor, materials and supplies and to construct the project in accordance with the contract documents, within the time set forth therein, and at the price stated below. This price is to cover all expenses incurred in performing the work required under the contract documents of which this PROPOSAL is a part.

The Bidder hereby agrees to commence work under this contract on or before a date to be specified in a written "Notice to Proceed" of the Owner and to fully complete the work within \_\_\_\_\_ consecutive calendar days after the "Notice to Proceed" date as stipulated in the specifications.

The Bidder further agrees to pay as liquidated damages, the sum of One Hundred Dollars (\$100.00) for each consecutive calendar day thereafter.

The Bidder acknowledges receipt of the following addenda:

\_\_\_\_\_

**TOTAL BASE BID** \$ \_\_\_\_\_

\_\_\_\_\_ (in words)  
\_\_\_\_\_ (Dollars) and \_\_\_\_\_ (Cents).

**ALTERNATE BID (24 GUAGE STEET) \$ \_\_\_\_\_**

\_\_\_\_\_  
(in words)  
\_\_\_\_\_(Dollars) and \_\_\_\_\_(Cents).

The above lump sum price shown shall include all labor, materials, bailing, shoring, removal, overhead, profit, insurance, etc., to cover the furnished work of the several kinds called for.

The Bidder agrees that this bid shall be good and may not be withdrawn for a period of sixty (60) calendar days after the closing time for the receipt of bids.

The Bidder understands that the Owner reserves the right to reject any or all bids and to waive any technicalities and informalities in the bidding and re-advertise.

The Bidder also understands that the additional information on the company's qualifications is required to be submitted with the bid and that the successful bidder may or may not be the low bidder. The Owner reserves the right to evaluate each Bidder's qualifications and bid prior to award.

The Bidder declares that he understands that any and all estimated quantities shown are for estimating purposes only and that the bid is to produce a fully functional project.

\_\_\_\_\_  
Bidder SEAL (if bid is by Corp.)

\_\_\_\_\_  
Contractor License No.

\_\_\_\_\_  
By ATTEST:  
(Signature): \_\_\_\_\_

\_\_\_\_\_  
Title (Print): \_\_\_\_\_

\_\_\_\_\_  
Address of Bidder Corporation Address:  
\_\_\_\_\_  
\_\_\_\_\_

(\_\_\_\_\_) \_\_\_\_\_  
Phone Number of Bidder State of Corporation: \_\_\_\_\_

## GENERAL CONDITIONS

Workday will begin no earlier than 7:00 AM and end at 5:00 PM or earlier, if at any time; safety, quality of work, weather or darkness is an influencing factor. Once work is started, contractor shall proceed on a daily continuous basis, weather permitting, through to completion.

Measures will be taken so that during storage, materials will be protected from moisture penetration and theft.

Contractor is fully responsible for any damage sustained to the building's exterior, interior, adjacent buildings, and all their landscaping and grounds during the course of the project. **The Contractor at his expense will make all necessary repairs.**

Contractor is responsible for removal of all used materials, rubbish, leaving the roof, buildings and grounds clean. Any loose trash is to be picked up and contained from the project on a daily basis. Trash, rubbish, debris and the like shall not be piled up on grounds overnight. Containers used for trash removal shall be emptied as needed, but under no circumstances be allowed over a weekend or holiday. Successful responsive bidder will be advised of this schedule prior to mobilization of work.

Contractor will provide experienced personnel with proper training.

Contractor shall furnish and install all materials and labor to complete assigned task.

Contractor shall provide a copy of his state of GA contractor's license and obtain a permit with the appropriate Municipality. Permits must be on jobsite before commencing work.

Contractor shall furnish all services, tools and equipment needed to complete his assigned task.

All materials are to be new and applied in a neat professional manner.

Contractor will allow owner or representative to inspect work in progress and make an inspection upon completion of the work, to determine if materials and procedures have been followed.

The presence of owner or his representative in no way relieves contractor from his contractual responsibilities with the building owner.

Contractor shall provide Certificate(s) of Insurance, covering Workmen's Compensation, General Liability and Vehicles. Certificate(s) **shall** be on file with the owner or owner's representative before mobilization of material or labor.

Contractor shall submit a "Partial Release of Liens," with each draw request and a "Final Release of Lien," prior to final payment to render the project free of any Liens. "Partial Release of Liens," and "Final Release of Liens," will also be required from suppliers.

Contractor will submit a full list of all material suppliers, subcontractors and equipment or other such rental companies providing services or labor, which they will be working with on this project prior to starting project.

Contractor agrees not to sub-contract or assign any portion of this project without prior written approval of Owner.

Final payment will not be authorized until final inspection is made and approved by the Contractor, Owner and his Representative.

## **JOB CONDITIONS**

Weather: Proceed with renovation work only when existing and forecasted weather condition will permit work to be performed in accordance with manufacturer's recommendation and warranty requirements.

## **CONSTRUCTION FACILITIES AND TEMPORARY CONTROLS CONTRACTOR'S USE**

Contractor's use of Premises: Limit use of premises for work and for construction operations, to allow for owner occupancy. Parking for construction workers shall be limited to areas at Owner's direction.

## **ELECTRICITY**

Owner will provide contractor with use of existing electrical hook-up. It shall be the Contractor's responsibility to locate existing power source and provide any additional service conductors for their specific work.

## **WATER**

Connection to existing facilities is available by use of hose. Owner will pay for water used.

## **SANITARY FACILITIES**

Owner will allow contractor to use permanent restroom facilities on site.

## **CLEANING DURING CONSTRUCTION**

Control accumulation of waste material and rubbish, daily dispose in a closed container or remove to a legally permitted landfill. There shall be **no** dumping in the Owner's receptacles.

ALL CONSTRUCTION SHALL MEET THE CURRENT BUILDING CODES ADOPTED BY THE STATE OF GEORGIA AND CITY OF PERRY. THE SUCCESSFUL BIDDER IS RESPONSIBLE FOR ANY PERMITS AS REQUIRED BY THE CITY OF PERRY INSPECTION DEPARTMENT.

CONTRACT

STATE OF GEORGIA

HOUSTON COUNTY

THIS AGREEMENT, entered into this \_\_\_\_ day of \_\_\_\_\_, 2016 by and between The City of Perry, Georgia, hereinafter referred to as the "City," and \_\_\_\_\_, hereinafter referred to as "Contractor."

WITNESSETH

WHEREAS, the City desires to employ General Contractor to construct a 40' x 60' open air pavilion at Creekwood Park, 111 Ida Lasseter Circle, Perry Georgia and the Contractor desires to accept such employment in accordance with the terms, covenants, and conditions hereinafter set forth.

NOW, THEREFORE, in consideration of the mutual covenants and agreements herein contained, and other good and valuable considerations, each to the other, the receipt and sufficiency whereof being hereby acknowledged, the parties hereto do hereby covenant and agree as follows:

1.

Contractor shall furnish all of the materials, equipment, and labor necessary to construct a 40' x 60' open air pavilion at Creekwood Park, 111 Ida Lasseter Circle, Perry Georgia.

2.

The Contractor represents to the City that he is fully experienced and properly qualified as an expert to perform the work provided for herein and that he is properly equipped and organized to perform such work. The Contractor shall operate as an independent Contractor and not as the agent of the City.

3.

The Contractor agrees to furnish all materials, equipment, and labor and agrees to provide same and perform all work in accordance to the satisfaction of the City.

4.

The City shall pay the Contractor in current funds for the performance of the work the contract sum of \$\_\_\_\_\_ in accordance with the bid sheet shown on the Bid Form attached hereto. Said sum being the amount that the Contractor bid for the opportunity to perform said work. The contractor is to submit invoices to the City of Perry on a monthly basis.

5.

Any additions, deletions, or changes to the plans or schedules shall be agreed to in writing by both the Contractor and the City.

6.

The Contractor shall commence improvements according to the plans and specifications of the City on or before \_\_\_\_\_. The Contractor will exert every effort to complete construction within 60 calendar days from commencement. Extensions of time will be allowed for delays arising from unforeseeable causes beyond the control and without the fault of negligence of Contractor. A request for an extension of time must be made by Contractor in writing to the City within fifteen (15) calendar days after the

unforeseen condition manifests itself to Contractor. Bidders further agree to pay as liquidated damages the sum of \$100.00 for each consecutive calendar day thereafter.

7.

Upon completion of the work as contemplated herein, the Contractor shall completely clean the premises freeing it of all trash, rubbish, debris, boxes, wrapping, and all of Contractor's equipment as well as any leftover materials and inventory not desired by the City.

8.

The Contractor shall comply with all requirements and regulations of governmental authorities as is required.

9.

The Contractor hereby indemnifies and agrees to save the City harmless from all liens or claims of right to enforce liens against the premises or improvements to be made thereto, of whatever nature said liens or claims may be. Neither final payment nor acceptance by the City shall constitute a waiver of this indemnity and if such claims are filed, the Contractor shall refund to the City all monies the City may be compelled to pay to discharge such liens or claims, including all costs and attorneys' fees. Upon completion of the work, the Contractor shall provide an affidavit, in a form reasonably satisfactory to the City, affirming under oath that all laborers and material suppliers involved in any respect with the work have been paid in full.

10.

The Contractor hereby indemnifies the City against all liabilities, claims, and demands for personal injury or property damage arising out of or caused by any act or omission of the Contractor, his subcontractors, agents, or employees, arising in or about the work area at any time from the date of this agreement until final completion of construction.

The Contractor further covenants to use proper care and caution in the performance of his work hereunder so as not to cause damage to any adjoining or adjacent property, and the Contractor shall indemnify and hold the City harmless from any liabilities, claims, or demands for damage to such adjoining or adjacent property.

11.

Contractor shall purchase, maintain and provide evidence of General Liability and Workers Compensation Insurance coverage throughout the duration of this contract for the benefit of and in an amount approved by the City prior to commencement of the performance of the work.

12.

All bidders shall provide proof of compliance with E-Verify requirements.

13.

The Contractor shall not assign this agreement or any amount payable hereunder without the prior written consent of the City.

14.

The Contractor will, at the request of the City, correct any defects due to faulty materials or workmanship, without cost to the City, and neither the final payment by the City nor the final acceptance by the City of the work to be completed hereunder shall relieve the Contractor from responsibility for any such defect in materials and workmanship.

15.

This agreement constitutes the entire agreement of the parties hereto and no representations, inducements, promises, agreements or otherwise between the parties not embodied herein shall be of any force or effect. All warranties and representations of the Contractor hereunder shall survive final payment and acceptance of the work. Time is of the essence of this agreement.

This contract and the rights of the parties will be governed by and construed in all respects in accordance with the laws of the State of Georgia.

The Courts of Houston County, Georgia shall have exclusive jurisdiction to try disputes arising under or by virtue of this contract.

IN WITNESS WHEREOF, the parties have executed the within instrument the day and year first above written.

**CITY OF PERRY, GEORGIA**

BY: \_\_\_\_\_  
James E. Faircloth, Mayor

Attest: \_\_\_\_\_  
Lee Gilmour, City Manager

**CONTRACTOR**

BY: \_\_\_\_\_

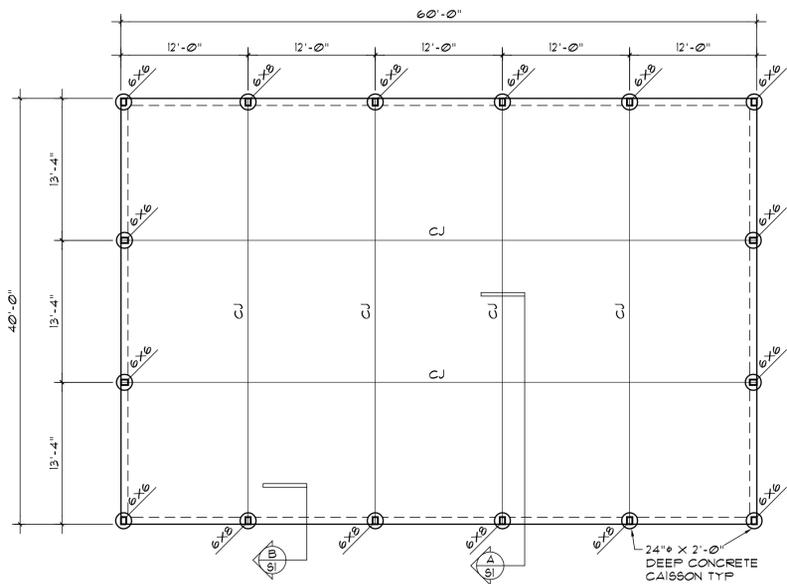
Attest: \_\_\_\_\_

**(CORPORATE SEAL)**

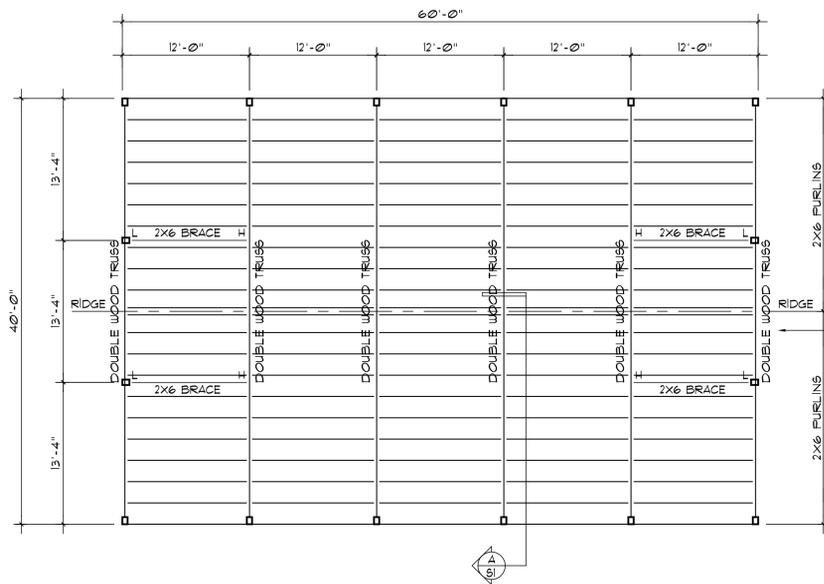


**K&E**  
Kornegay  
Engineering  
Inc.

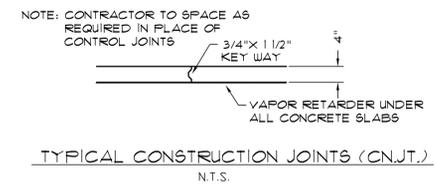
Structural Consultant  
363 Pierce Avenue  
Suite 202  
Macon, GA 31204  
(478) 745-6161 ph  
(478) 745-4744 fax



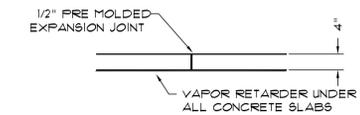
**FOUNDATION PLAN**  
SCALE: 1/8" = 1'-0"



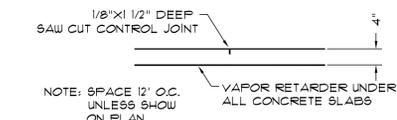
**ROOF FRAMING PLAN**  
SCALE: 1/8" = 1'-0"



**TYPICAL CONSTRUCTION JOINTS (CN.JT.)**  
N.T.S.

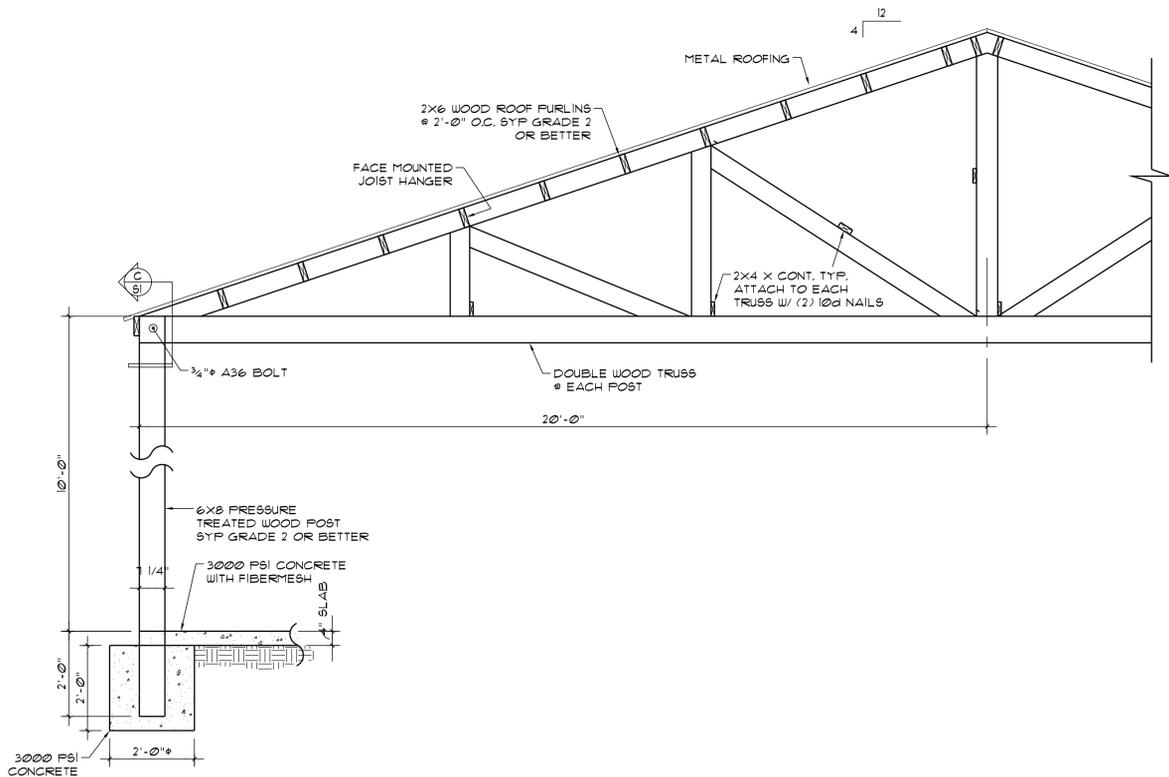


**TYPICAL ISOLATION JOINT (I.JT.)**  
N.T.S.

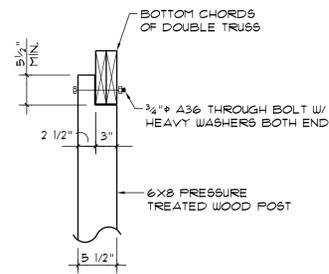


**TYPICAL CONTROL JOINT (C.J.)**  
N.T.S.

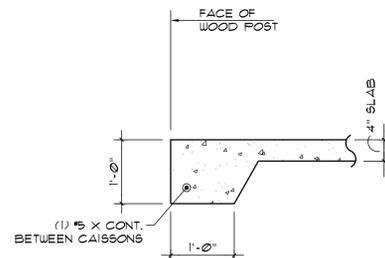
SAW CUTTING CONTROL JOINTS IS AN ATTEMPT TO PARTIALLY CONTROL THE SHRINKAGE CRACKS THAT NATURALLY OCCURS IN CONCRETE DURING THE CURING PROCESS. SOMETIMES THE CONCRETE WILL CRACK BETWEEN CONTROL JOINTS.



**SECTION A-A**  
SCALE: 1/2" = 1'-0"



**SECTION C-C**  
SCALE: 1" = 1'-0"



**SECTION B-B**  
SCALE: 3/4" = 1'-0"

**GENERAL NOTES:**

- COORDINATE THESE DRAWINGS WITH THE EXISTING CONDITIONS. THE FOUNDATION IS DESIGNED USING A SOIL BEARING CAPACITY OF 2000 P.S.F. IF THE EXISTING CONDITIONS VARY FROM WHAT IS SHOWN, OR IF THE SOIL BEARING CAPACITY IS QUESTIONABLE, THE ENGINEER IS TO BE NOTIFIED IMMEDIATELY.
- REMOVE ALL TOPSOIL, ROOT SYSTEM OR OTHER DELETERIOUS MATERIAL UNDER PROPOSED COLUMN FOOTINGS AND REPLACE WITH SUITABLE COMPACTED FILL OR CRUSHED STONE. ENGINEER'S DECISION ON QUESTIONABLE MATERIAL SHALL BE FINAL.
- ALL BUILDING AREAS SHALL BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT AS DETERMINED IN ACCORDANCE WITH ASTM D698, CURRENT EDITION.
- ALL FOOTINGS TO BE CENTERED UNDER THE COLUMNS OR WALLS THEY SUPPORT, UNLESS NOTED OTHERWISE ON THE DRAWING.
- WHERE A DETAIL IS SHOWN FOR ONE CONDITION, IT SHALL ALSO APPLY FOR ALL LIKE OR SIMILAR CONDITIONS, UNLESS NOTED OTHERWISE.
- EXTEND ALL FOOTING REINFORCEMENT TO FAR SIDE OF FOOTING, TYPICALLY ALLOWING 3 INCHES OF COVER.
- ALL CONCRETE SHALL HAVE A MINIMUM 28 -DAY COMPRESSIVE STRENGTH OF 3000 P.S.I. AND SLAB SHALL BE REINFORCED WITH FIBERMESH AT THE RATE OF 15 POUNDS PER CUBIC YARDS OF CONCRETE.
- CONCRETE REINFORCING STEEL SHALL COMPLY WITH THE REQUIREMENTS OF ASTM A615, GRADE 60 AND FREE OF ANY FORM RELEASE AGENTS. ALL ANCHOR BOLTS SHALL BE SIZE AND STRENGTH SPECIFIED.
- BUILDING WAS DESIGNED IN COMPLIANCE WITH 2012 INTERNATIONAL BUILDING CODE. ROOF LIVE LOAD - 20 P.S.F. (REDUCED FOR TRIBUTARY AREA) WIND LOAD - 110 M.P.H. COLLATERAL LOAD - 3 P.S.F. WIND IMPORTANCE FACTOR - 1.00 BUILDING CATEGORY - II APPLICABLE INTERNAL PRESSURE COEFF. - 0
- ROOF TRUSS DESIGN LOADS SHALL BE AS FOLLOWS:  

	ROOF
TOP CHORD LIVE LOAD	20 P.S.F.
TOP CHORD DEAD LOAD	5 P.S.F.
BOTTOM CHORD LIVE LOAD	0 P.S.F.
BOTTOM CHORD DEAD LOAD	3 P.S.F.
TOP CHORD WIND UPLIFT LOAD	IN ACCORDANCE W/ THE SHARE FACTORS DENOTED IN THE STANDARD BUILDING CODE
- TRUSSES SHALL BE DESIGNED AND FABRICATED BY THE TRUSS MANUFACTURER. DESIGN SHALL CARRY THE SEAL OF AN ENGINEER REGISTERED IN THE STATE OF GEORGIA. CONFIGURATION AND SIZE OF WEB MEMBERS SHALL BE DETERMINED BY THE TRUSS MANUFACTURER'S SHOP DRAWINGS AND CALCULATIONS FOR TRUSSES SHALL BE SUBMITTED FOR APPROVAL BEFORE FABRICATION. TRUSS SHOP DRAWINGS SHALL BE AVAILABLE AT THE SITE.
- MAXIMUM LIVE LOAD DEFLECTION FOR ROOF TRUSSES = L/240.
- ALL ADDITIONAL PERMANENT BRACING AS REQUIRED BY STRUCTURAL DESIGN OF THE TRUSSES AND FOR STABILITY OF THE TRUSSES AND FOR STABILITY OF THE TRUSSES SHALL BE INDICATED ON THE SHOP DRAWINGS.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY BRACING FOR THE TRUSSES DURING ERECTION.

SHEET TITLE

REVISIONS

JOB TITLE

40' X 60' PAVILION FOR  
**CITY OF PERRY**  
CREEKWOOD PARK  
PERRY, GEORGIA

Drawn	Proj no.
M. STEFANO	16-070
Checked	Date
G. KORNEGAY	04/08/16
Sheet Number	

**S1**